

ALTERATIONS AND REPAIRS AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

BBGM Project Number 1123.00

BZA APPLICATION

02.09.2021

PROJECT NAME:
2805 M ST, NW
Washington, D.C., 20009

SCOPE OF WORK:

2805 M STREET, NW IS AN EXISTING HISTORIC BUILDING WHICH WAS PREVIOUSLY SUBDIVIDED TO INCLUDE THE PRIOR ADDRESSES OF 2801, 2803, AND 2805 M STREET, NW. IT IS A 3-STORY ABOVE-GRADE STRUCTURE WITH ONE FULL LEVEL BELOW GRADE (IN ADDITION TO LIMITED BELOW-GRADE MECHANICAL AREAS). THE BUILDING IS IN DISREPAIR, IN PART DUE TO RECENT VEHICULAR DAMAGE, AND REQUIRES IMPROVEMENTS TO THE INTERIOR AND EXTERIOR TO ENHANCE HISTORIC APPEAL. THE CURRENT SCOPE OF WORK WILL INVOLVE INTERIOR ALTERATIONS ON THE 2ND AND 3RD FLOORS ONLY AND WILL INCLUDE REPLACEMENT OF EXISTING PLUMBING FIXTURES AT RESTROOMS IN KIND; REPLACEMENT OF EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN KIND; REPLACEMENT OF MECHANICAL EQUIPMENT IN KIND; AND PROVIDING SECURITY ALARM UPGRADES. THE NEW EGRESS STAIR WILL BE INSTALLED (PER PRIOR CFA APPROVAL DATED 6/12/19).

BUILDING CODES - (Washington D.C.)

BUILDING- INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2012
INTERNATIONAL BUILDING CODE (IBC) 2012
DC BUILDING CODE (DCBC) 2013
DCMR 12A BUILDING CODE SUPPLEMENT 2013
DC EXISTING BUILDING CODE 2013
DCMA 12J EXISTING BUILDING CODE 2013

MECHANICAL- INTERNATIONAL MECHANICAL CODE (IMC) 2012
DC MECHANICAL CODE 2013
DCMR 12E 2013 MECHANICAL CODE SUPPLEMENT

PLUMBING- INTERNATIONAL PLUMBING CODE (IPC) 2012 (REF. 12 DCMR F)
DC PLUMBING CODE 2013
DCMR 12F 2013 PLUMBING CODE SUPPLEMENT

GAS- INTERNATIONAL FUEL GAS CODE (IFGC) 2012
DCMR 12D FUEL GAS CODE SUPPLEMENT

ELECTRICAL- NATIONAL ELECTRICAL CODE (NEC - NFPA 70, 2011 EDITION)
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 2010 EDITION
DC ELECTRICAL CODE 1013
DCMR 12C 2013 ELECTRICAL CODE SUPPLEMENT

ENERGY- INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012
GREEN CONSTRUCTION CODE SUPPLEMENT (GCC) 2012
DC ENERGY CONSERVATION CODE 2013
DCMR 12 2013 ENERGY CONSERVATION CODE SUPPLEMENT

FIRE PREVENTION- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 2012

LIFE SAFETY- LIFE SAFETY CODE (LSC) 101 2012

ACCESSIBILITY- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
INTERNATIONAL BUILDING CODE (IBC) 2012
2009 ANSI A117.1
DCMR 12A BUILDING CODE SUPPLEMENT

ELEVATOR CODE- INTERNATIONAL BUILDING CODE (IBC) 2012
ASME A17.1/CSA B44
OTHER CODES- DC GREEN BUILDING ACT OF 2006
DC GREEN CONSTRUCTION CODE 2013
INTERNATIONAL GREEN CONSTRUCTION CODE 2012
DCMR 12M 2013 GREEN CONSTRUCTION CODE SUPPLEMENT
DC PROPERTY MAINTENANCE CODE 2013
INTERNATIONAL PROPERTY MAINTENANCE CODE 2012
DCMR 12G 2013 PROPERTY MAINTENANCE CODE SUPPLEMENT

ZONING

LOTS: 0201

SQUARE: 1212

ZONE: MU-4

HEIGHT: 32' - 6"

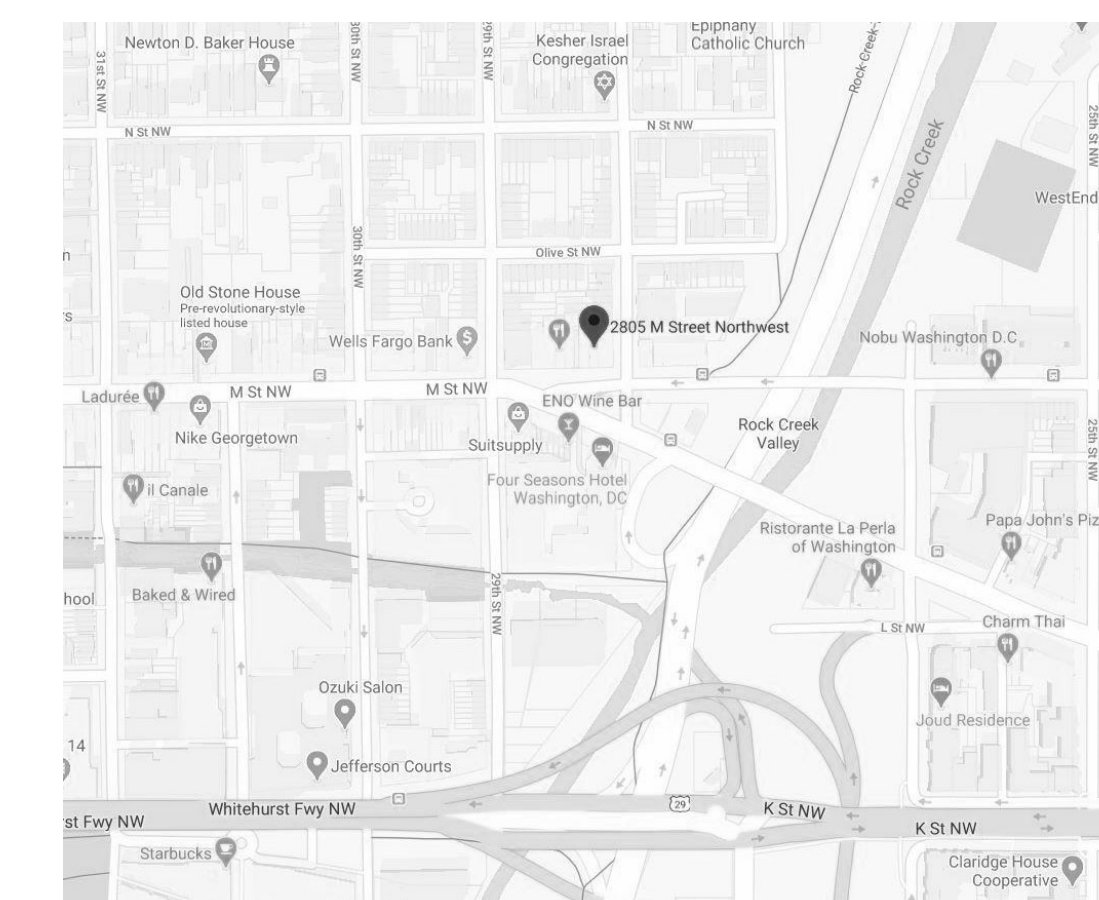
STORIES: 3 ABOVE GRADE + BASEMENT

SITE AREA: 5,130 SQ.FT.

HISTORIC: GEORGETOWN

USES: OFFICE/RETAIL

VICINITY MAP



USE GROUP:

B - OFFICE/RETAIL

M - MERCANTILE

CONSTRUCTION TYPE:
BUILDING - TYPE IIIb, NOT SPRINKLED

NUMBER OF STORIES: 3

HIGHRISE: NO

COVERED MALL: NO

FULLY SPRINKLERED & MONITORED: NO

FIRE ALARM SYSTEM: NO

ADA ACCESSIBILITY: NO

EMERGENCY POWER: NO

OCCUPANCY CALCULATION:
OCCUPANCY REMAINS UNCHANGED AS FLOOR AREAS AND OCCUPANCIES ARE UNCHANGED.

EGRESS LOADS:
THIS RENOVATION WILL NOT CHANGE THE EXISTING POPULATION LOADS AND EGRESS REQUIREMENTS OF THE BUILDING.

EXISTING BUILDING LEVEL OF ALTERATION:
LEVEL 2 ALTERATION - "LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT." (IEBC2012 504.1)



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OCCUPANCY INFORMATION

Original Address	Bay Reference	Specific Location		Use		Certificate of Occupancy			CoFO #	Date Issued
		Level	Portion	Current	Proposed	AREA	SQ.FT. PER PERSON	OCCUPANCY LOAD		
2801	#1	Basement	All	Office - B	No Change	2,640	100 SQ.FT.	26	8172760	9/7/95
			Partial	Office - B	Mercantile - M	2,664	30 SQ.FT.	88	CO1500318	11/9/14
		1st	Partial	Office - B	No Change	837	100 SQ.FT.	8	8174297	3/26/96
			Partial	Office - B	No Change	1,316	100 SQ.FT.	13	8172760	9/7/95
			All	Office - B	No Change	2,640	100 SQ.FT.	26	8172760	9/7/95
2803	#2	Basement	All	Office - B	No Change	2,640	30 SQ.FT.	88	CO1500318	11/9/14
			Partial	Office - B	Mercantile - M	2,664	30 SQ.FT.	88	8174297	3/26/96
		1st	Partial	Office - B	No Change	837	100 SQ.FT.	8	8172760	9/7/95
			Partial	Office - B	No Change	1,316	100 SQ.FT.	13	8172760	9/7/95
			All	Office - B	No Change	837	100 SQ.FT.	8	8172760	9/7/95
2805	#3	Basement	All	Fast Food A-2	No Change		N.I.C.		CO1702540	5/31/17
			1st	All	Gym or Exercise Studio	No Change	3,843	50 SQ.FT.	77	CO1302977
		2nd	All		No Change					

EGRESS INFORMATION

LIFE SAFETY DIAGRAM LEGEND

---> TRAVEL DISTANCE

UNOCCUPIED AREA N.I.C.

AREA NOT IN SCOPE OF WORK

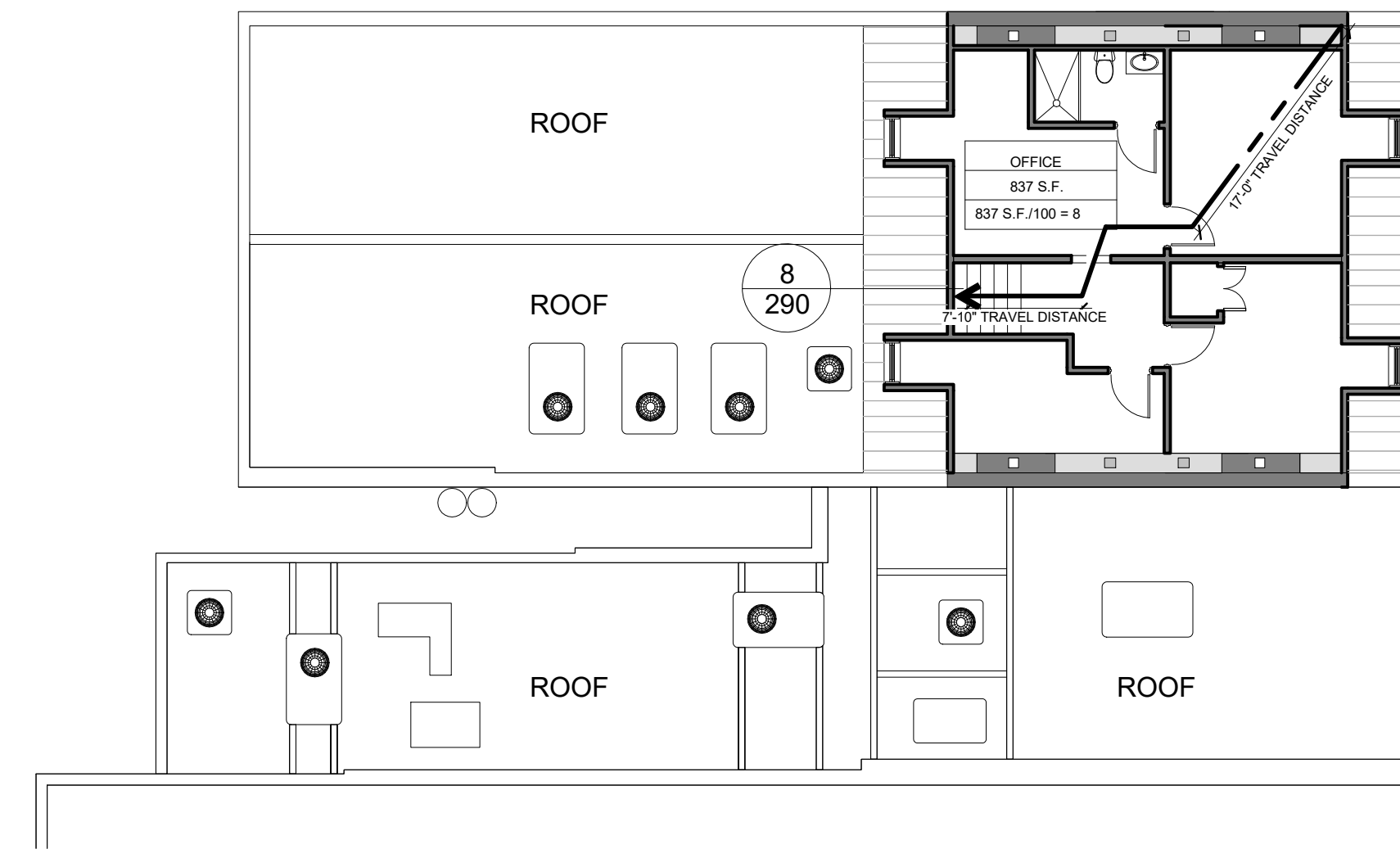
X = # OF OCCUPANTS
Y = EXIT CAPACITY

SPACE NAME
S.F.
S.F./OC XXX

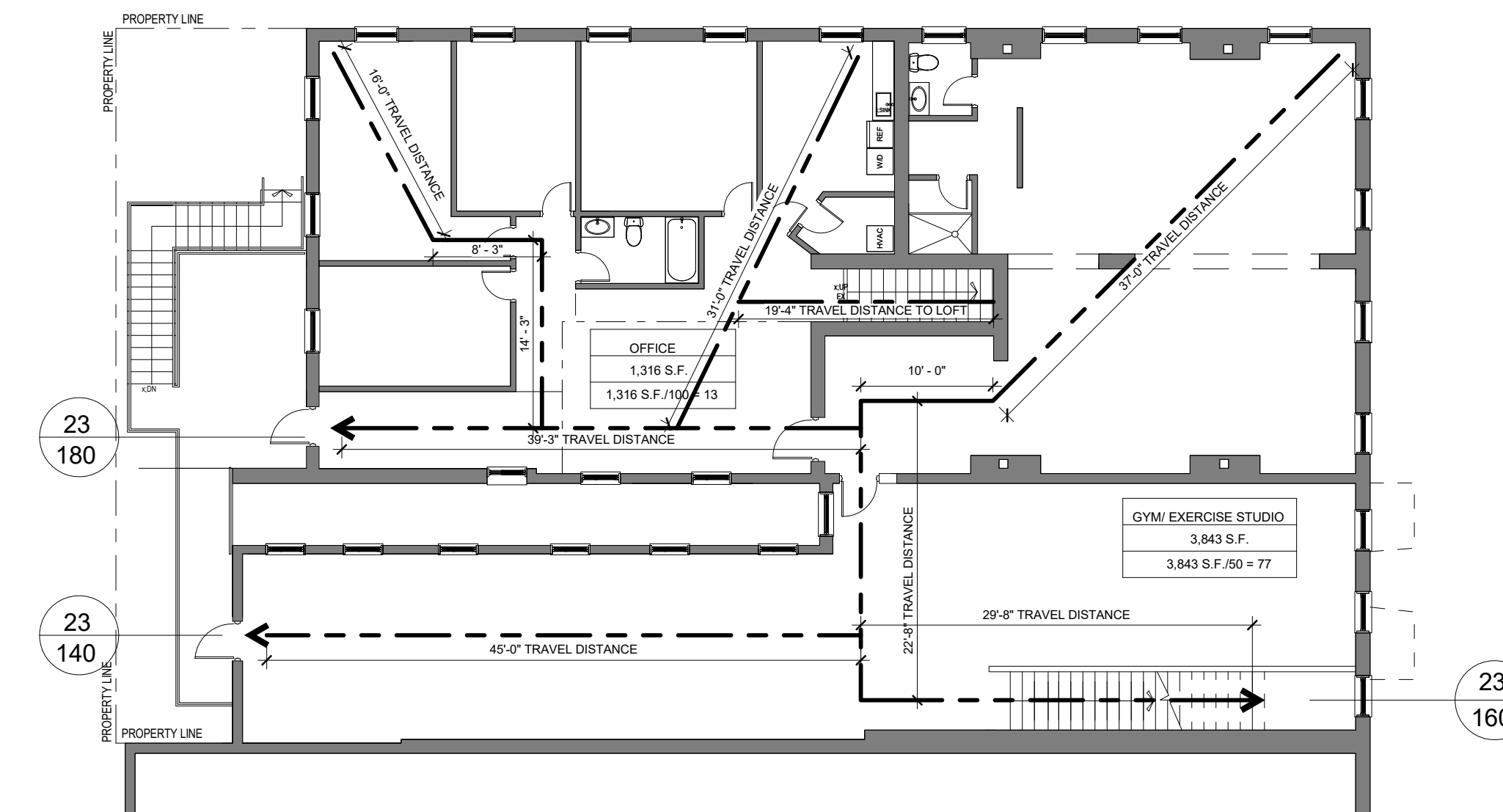
S.F. = SQUARE FOOT
OC = OCCUPANCY PER PERSON

FIRE RESISTENCE REQUIREMENTS: TYPE III B

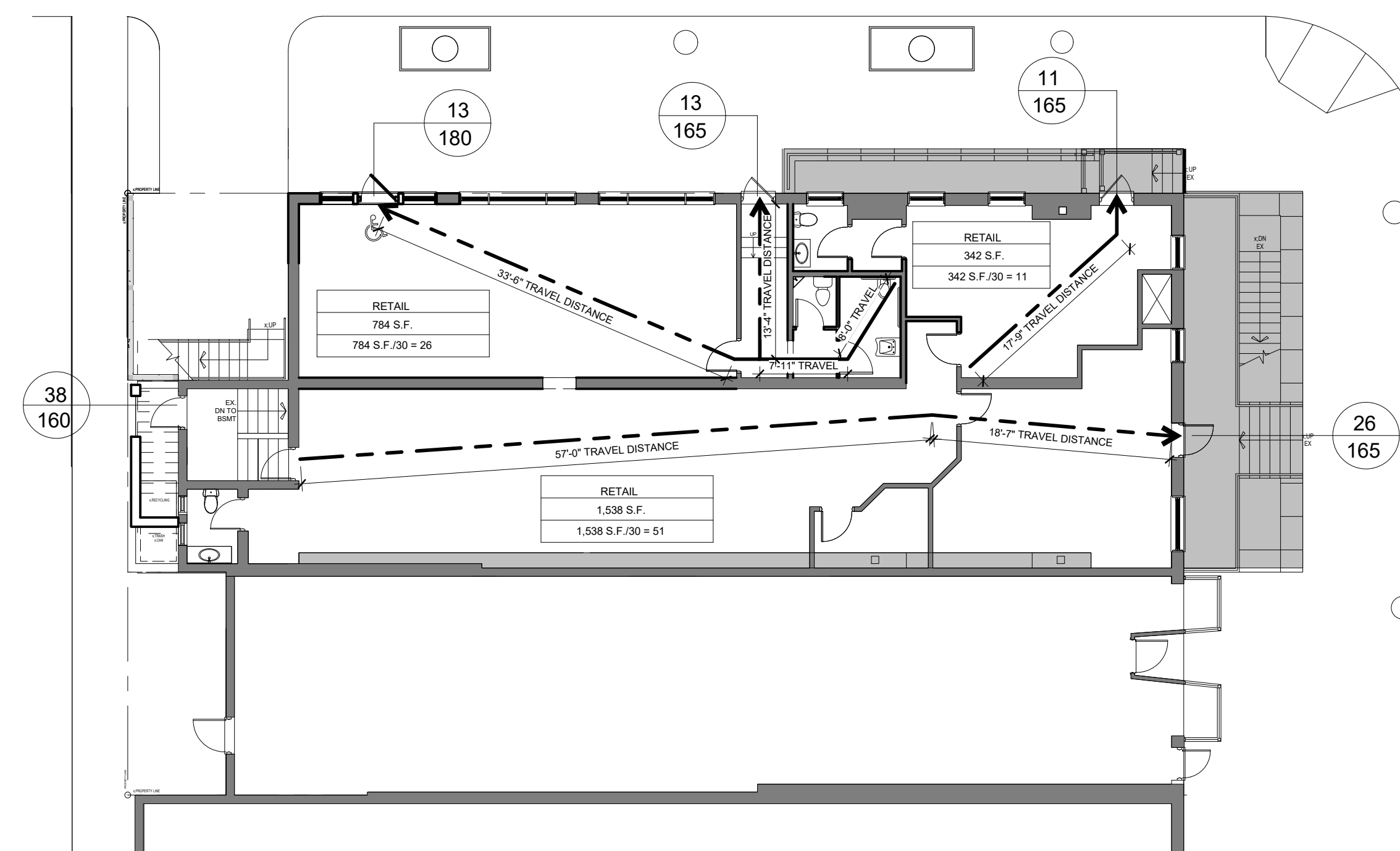
1. STRUCTURAL FRAME: 0 HOURS
2. BEARING WALLS - EXTERIOR: 2 HOURS
3. BEARING WALLS - INTERIORS: 0 HOURS
4. NON-BEARING WALLS: 0 HOURS
5. FLOOR CONSTRUCTION: 0 HOURS
6. ROOF CONSTRUCTION: 0 HOURS
7. DEMISING WALL: 0 HOURS



3 LIFE SAFETY PLAN - LOFT
3/32" = 1'-0"



2 LIFE SAFETY PLAN - SECOND FLOOR
3/32" = 1'-0"



1 LIFE SAFETY PLAN - FIRST FLOOR
3/32" = 1'-0"

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2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
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202-271-4200

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PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

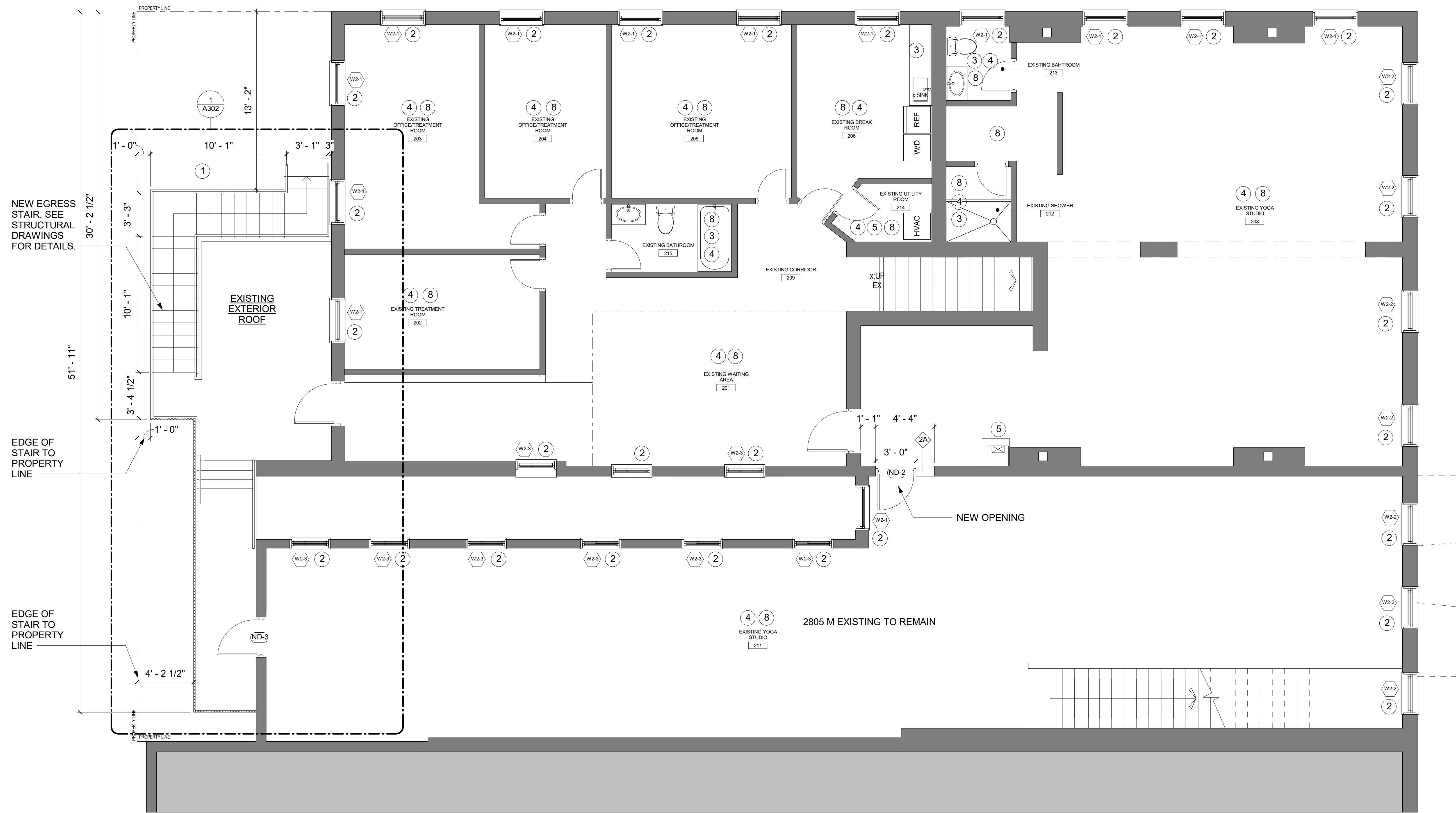
LIFE SAFETY PLAN



PROJECT No.: 1123.00
DWG No.:

A003

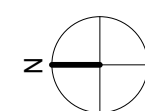
SECOND FLOOR PLAN



KEY LEGEND:

	AREA OF WORK
	AREA NOT IN SCOPE

1 CONSTRUCTION - SECOND FLOOR PLAN
1/4" = 1'-0"



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CONSTRUCTION - GENERAL NOTES

- ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
- G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
- G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
- G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
- G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
- MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
- DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
- LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
- VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
- FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
- REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
- G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- INSTALL NEW WINDOWS (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- REPLACE MECHANICAL EQUIPMENT IN EXISTING LOCATIONS. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.



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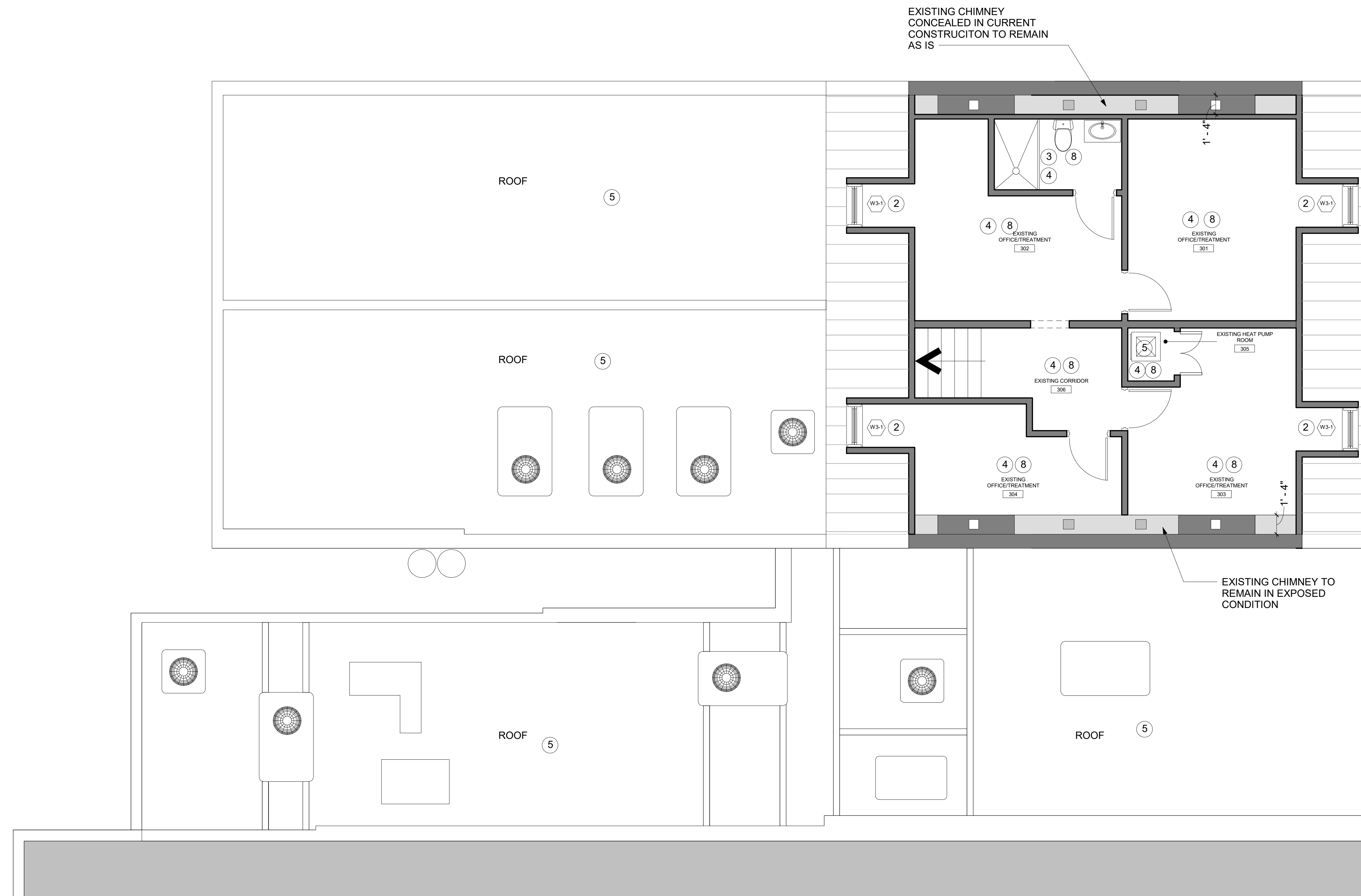
PROJECT
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WASHINGTON, DC 20007

SECOND FLOOR PLAN

SEAL & SIGNATURE
PROJECT No: 1123.00
DWG No:
A104

LOFT FLOOR PLAN



KEY LEGEND:

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	AREA NOT IN SCOPE

1 CONSTRUCTION - LOFT FLOOR PLAN
1/4" = 1'-0"

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- REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

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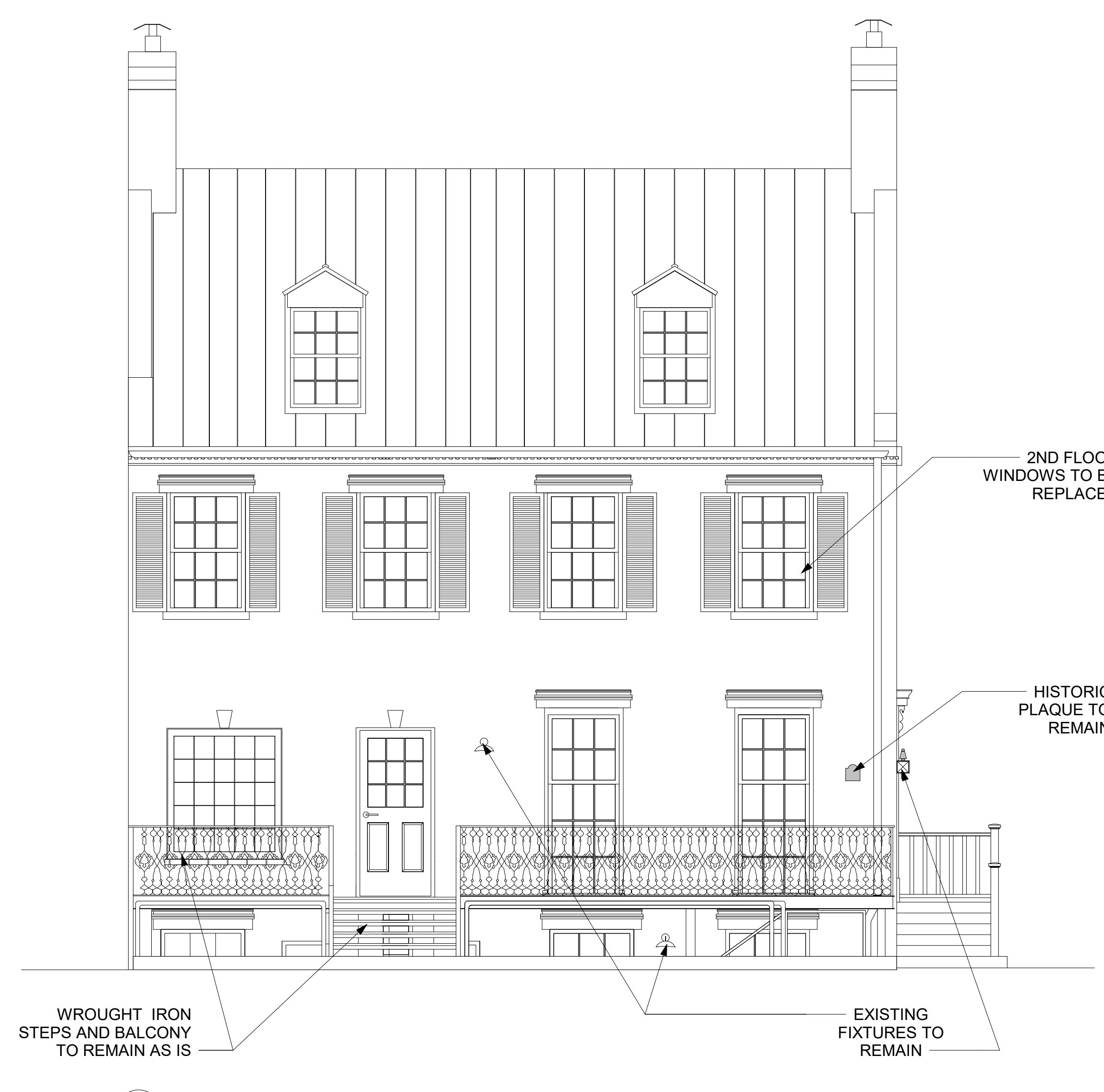
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ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

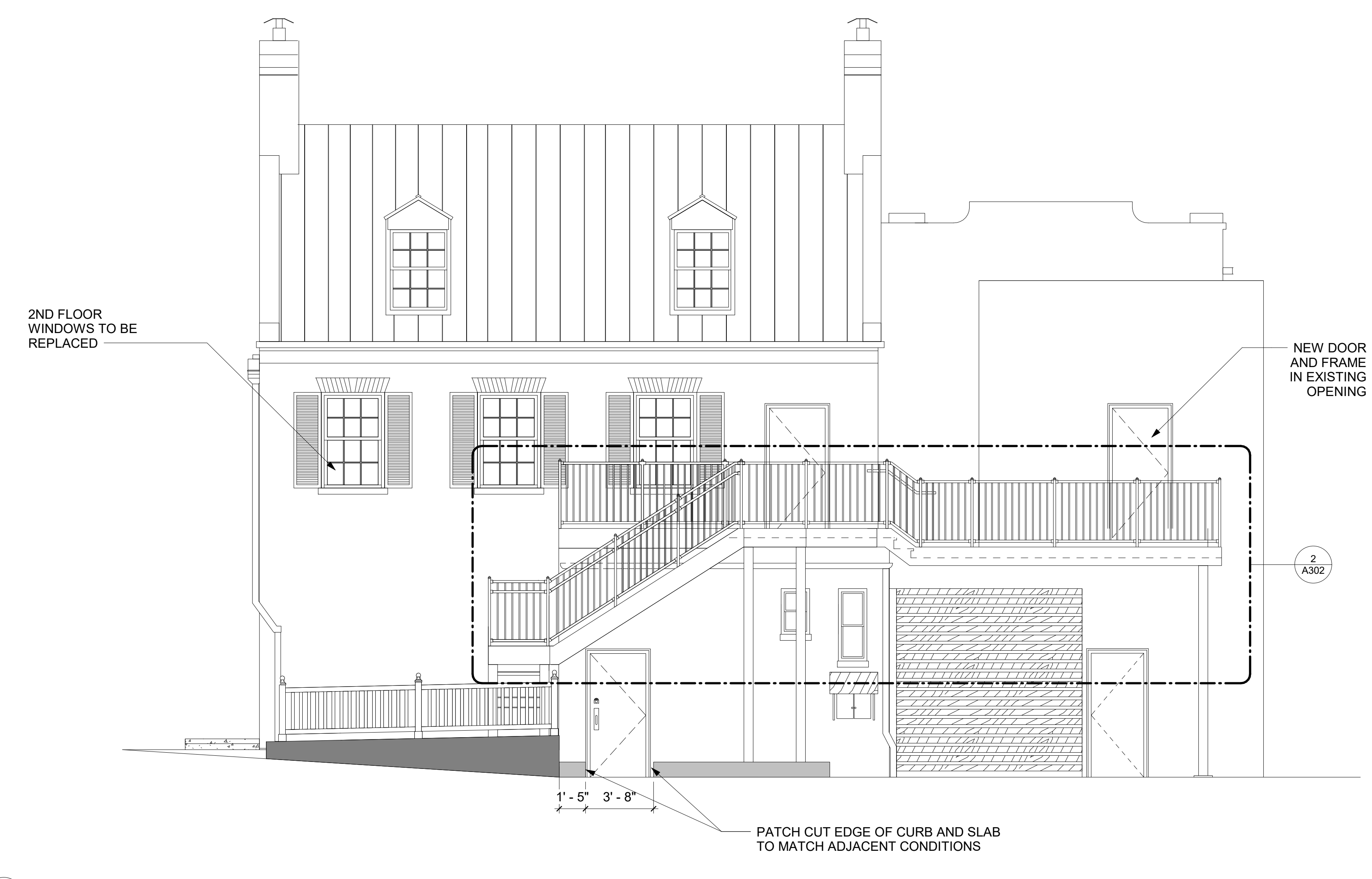
2805 M STREET, NW
WASHINGTON, DC 2007

LOFT PLAN

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No.: **A105**



2
A201
EXTERIOR FRONT ELEVATION - M ST
1/4" = 1'-0"



1
A201
EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY
1/4" = 1'-0"

EXTERIOR FRONT ELEVATION - M ST

EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY

EXTERIOR FINISH SCHEDULE

PAINT	APPLICAITON
DECORATOR'S WHITE: OC-149	BRICK
METROPOLITAN: AF-690	WINDOWS
KENDALL CHARCOAL: HC-166	SHUTTERS
BLACK IRON: 2120	BALCONY
OLD NAVY: 2063-10	DOORS

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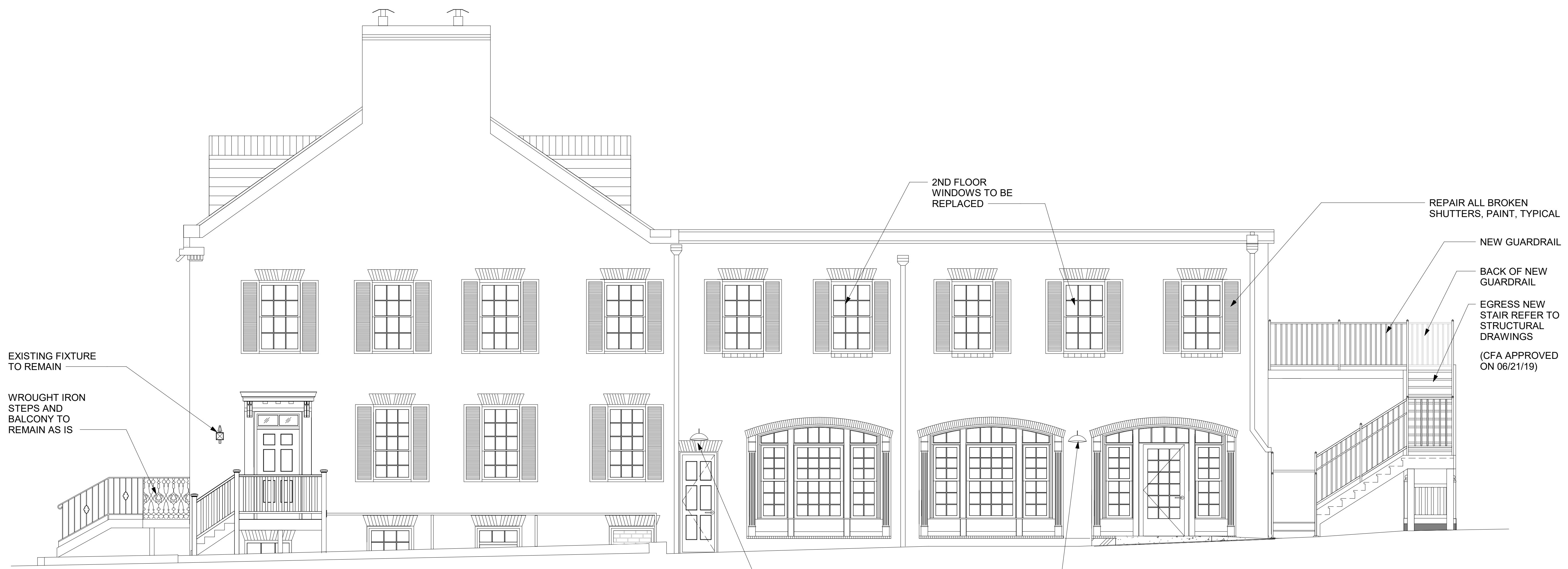


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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW


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WASHINGTON, DC 2007

EXTERIOR ELEVATIONS



3
A201
EXTERIOR SIDE ELEVATION - 28TH ST
1/4" = 1'-0"

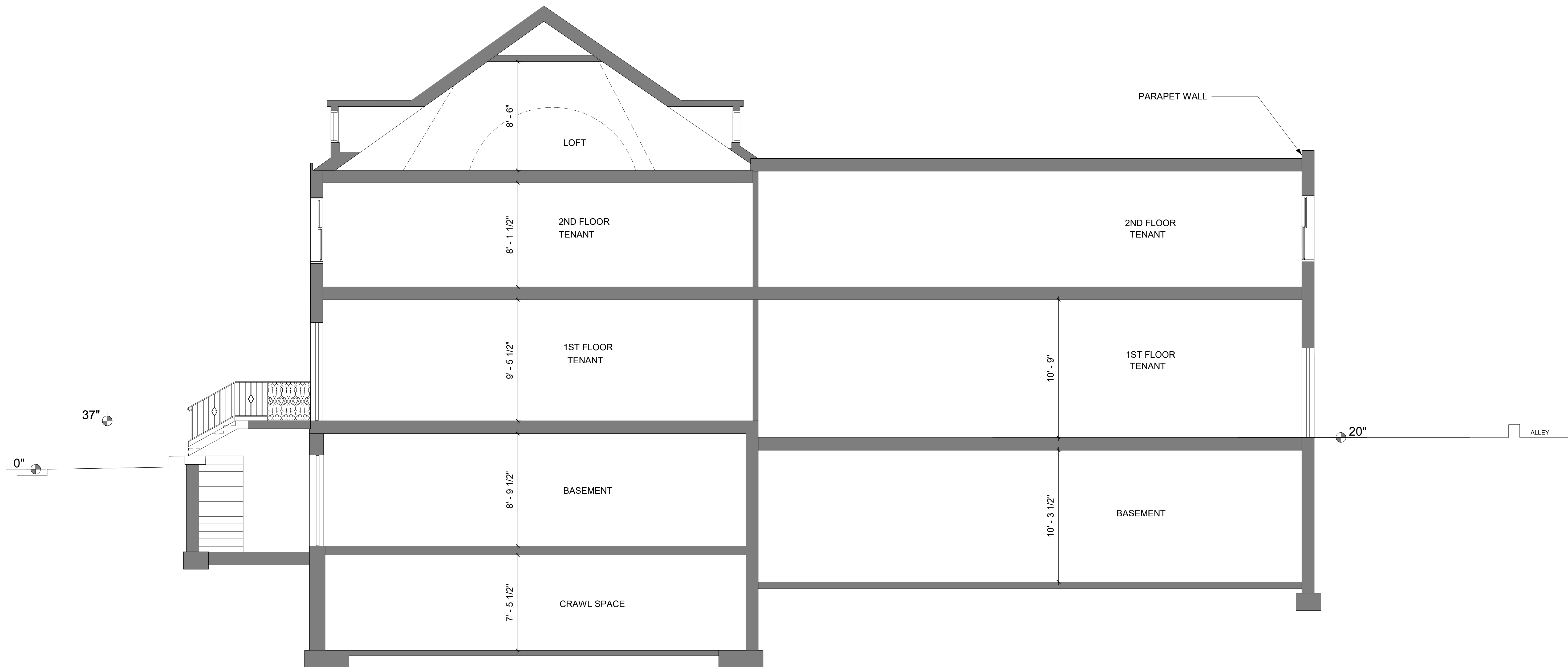
EXTERIOR SIDE ELEVATION - 28TH ST

SEAL & SIGNATURE

 PROJECT No.: 1123.00
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A201

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1 EXISTING EXTERIOR SECTION
A301 1/4" = 1'-0"

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AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

EXTERIOR ELEVATIONS AND SECTIONS

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No.:
 A301

